

KCU

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

October 18, 2018

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Village at Flat Fork, Sec. 3 Arm

Attached is a petition filed by North Connecticut Development Corporation (Republic Development), along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Vermillion Drain, The Village at Flat Fork, Sec. 3 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Weihe Engineers, Project No. W160073-3, the drain will consist of the following:

12" RCP	242 ft.	6" SSD	1,859 ft.
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The total length of the drain will be 2,101 feet.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 3 will be \$1,664.60.

The existing detention area (dry pond #2 located in Common Area "A") was constructed with the Village at Flat Fork, Sec. 1 Arm.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Standard Financial Corporation
Date: July 6, 2018
Number: 1328VVF3
For: Storm Sewers
Amount: \$46,162.74
HCDB-2018-00020

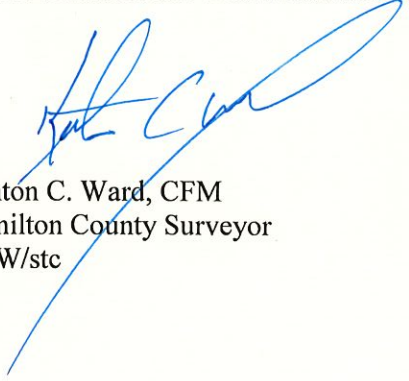
Agent: Standard Financial Corporation
Date: July 6, 2018
Number: 1329VVF3
For: Erosion Control
Amount: \$21,277.20
HCDB-2018-00021

Agent: Standard Financial Corporation
Date: July 6, 2018
Number: 1330VVF3
For: Monumentation
Amount: \$4,865.76
HCDB-2018-00022

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for The Village at Flat Fork, Sec. 3 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for November 26, 2018.



Kenton C. Ward, CFM
Hamilton County Surveyor
KCW/stc

(Revised 06/08/04)

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

JUN 06 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of The Village @ Flat Fork Subdivision, Section
Three Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Village @ Flat Fork -Section Three, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

Adobe PDF Ffillable Form

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

NORTH CONNECTICUT DEVELOPMENT CORP.

Douglas B. Wagner, Sr. V.P.

Signed

Signed

DOUGLAS B. WAGNER

Printed Name

Printed Name

JUNE 1, 2017

Date

Date

Signed

Signed

Printed Name

Printed Name

Date

Date

FINDINGS AND ORDER

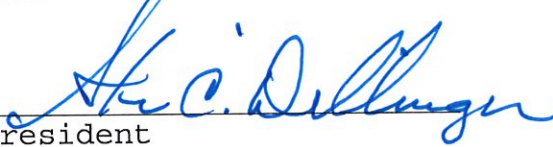
CONCERNING THE MAINTENANCE OF THE

Vermillion Drain, The Village at Flat Fork Section 3 Arm

On this 26th day of November, 2018, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Vermillion Drain, The Village at Flat Fork Section 3 Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 
Executive Secretary

FILED

OCT 17 2018



ENGINEER'S ESTIMATE OF PROBABLE COST

Project: The Village at Flat Fork - Section 3
W160073-3

Date: 5/8/2018
OFFICE OF HAMILTON COUNTY SURVEYOR

STORM SEWERS

	Quantity	Unit Price	Gross Price	
Structures	Large Manhole	1	\$ 4,500.00	\$ 4,500.00
	Small Inlet	1	\$ 1,950.00	\$ 1,950.00
	Double Inlet	0	\$ 3,015.00	\$ -
	Tie into Existing Structure (Steep)	1	\$ 1,500.00	\$ 1,500.00
	Tie into Existing Structure	1	\$ 350.00	\$ 350.00
	Bedding (#8)	60	\$ 20.50	\$ 1,230.00
	Fill #53	145	\$ 14.00	\$ 2,030.00
	Lot connections (4" underdrain)	23	\$ 130.00	\$ 2,990.00
	Linear feet of underdrain (6")	1857	\$ 9.35	\$ 17,362.95

Qty	Measurement	Size	Material	Unit Price	Gross Price	
Pipe	132	Linear feet of	12"	RCP	\$ 23.00	\$ 3,036.00
	110	Linear feet of (Deep)	12	RCP	\$ 32.00	\$ 3,520.00
	0	Linear feet of		RCP		\$ -
	0	Linear feet of		RCP		\$ -
STORM SEWER TOTAL:					\$ 38,468.95	

EROSION CONTROL

	Quantity	Unit Price	Gross Price	
Seeding	Acres of temp. seed	3.75	\$ 325.00	\$ 1,218.75
	Acres of Straw mulch	3.75	\$ 775.00	\$ 2,906.25
	Square yards of permanent seed and straw mulch	11,150	\$ 0.34	\$ 3,791.00
	Square yards of erosion control blanket w/ permanent seed)	0	\$ 1.05	\$ -
	Linear feet of silt fencing	2,865	\$ 1.00	\$ 2,865.00
Other	Roadside Seeding	0	\$ 0.34	\$ -
	Construction Entrance	1	\$ 3,300.00	\$ 3,300.00
	Linear feet of silt fencing behind curb	2,175	\$ 1.00	\$ 2,175.00
	Concrete Washout	1	\$ 500.00	\$ 500.00
	Curb Inlet Protection	3	\$ 175.00	\$ 525.00
	Drop Inlet Protection	5	\$ 90.00	\$ 450.00
EROSION CONTROL TOTAL			\$ 17,731.00	

MONUMENTATION

	Quantity	Unit Price	Gross Price	
Misc.	Lot Corners per Lot	23	\$ 163.50	\$ 3,760.50
	Other Monuments per Monument	3	\$ 98.10	\$ 294.30
MONUMENTATION TOTAL			\$ 4,054.80	

SUMMARY

	Total	Performance Guarantee	Maintenance Guarantee
	A	B = A X 120%	C = B X 20%
Storm Sewers	\$ 38,468.95	\$ 46,162.74	\$ 9,232.55
Erosion Control	\$ 17,731.00	\$ 21,277.20	\$ 4,255.44
Monumentation	\$ 4,054.80	\$ 4,865.76	\$ 973.15
	\$ 60,254.75	\$ 72,305.70	\$ 14,461.14

COMMENTS:

Bond Estimate Prepared by:

Signature: Alvin E. Skoog, Jr.

Printed Name: Alvin E. (Rusty) Skoog, Jr.

Title: Sr. Project Manager

Date: 8-May-18



JUL 09 2018

July 6, 2018

Irrevocable Letter of Credit No.: 1328VFF3

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Forty-Six Thousand One Hundred Sixty-Two and 74/100 Dollars (\$46,162.74)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of storm sewers in The Village at Flat Fork, Section 3.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1328VFF3".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of July 6, 2018 and shall expire on July 6, 2019, but such expiration date shall be automatically extended for a period of one year on July 6, 2019, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

HCD B-2018-00020

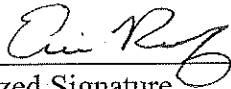
 **Standard Financial**
C O R P O R A T I O N

current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

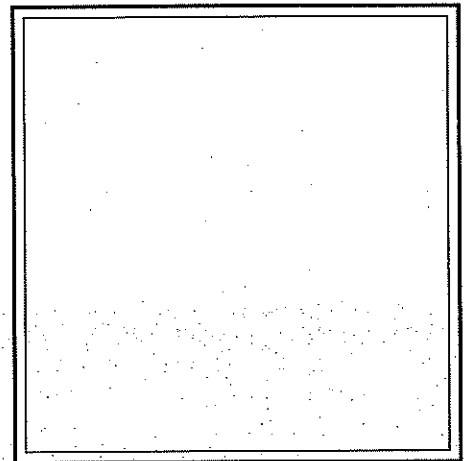
Sincerely,

STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer
Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

JUL 09 2018

July 6, 2018

OFFICE OF HAMILTON COUNTY SURVEYOR

Irrevocable Letter of Credit No.: 1329VFF3

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Twenty-One Thousand Two Hundred Seventy-Seven and 20/100 Dollars (\$21,277.20)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of **erosion control in The Village at Flat Fork, Section 3.**

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1329VFF3".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of July 6, 2018 and shall expire on July 6, 2019, but such expiration date shall be automatically extended for a period of one year on July 6, 2019, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

HCDP-2018-00021

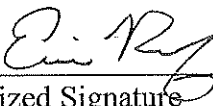


current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

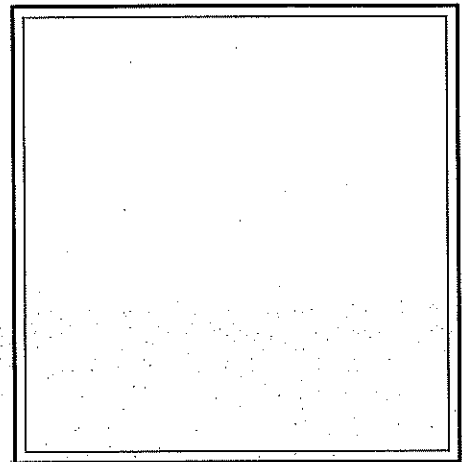
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

FILED
JUL 09 2018

July 6, 2018

OFFICE OF HAMILTON COUNTY SURVEYOR

Irrevocable Letter of Credit No.: 1330VFF3

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Four Thousand Eight Hundred Sixty-Five and 76/100 Dollars (\$4,865.76)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of **monumentation** in **The Village at Flat Fork, Section 3.**

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1330VFF3".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of July 6, 2018 and shall expire on July 6, 2019, but such expiration date shall be automatically extended for a period of one year on July 6, 2019, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the



current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

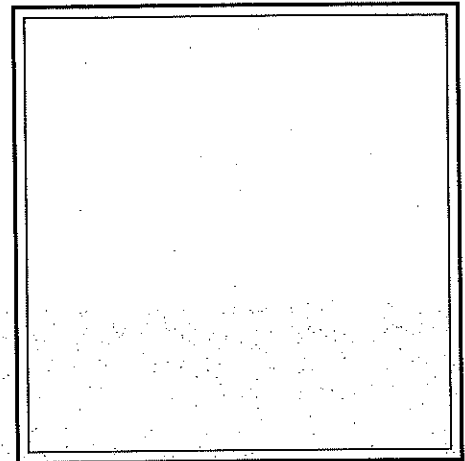
Sincerely,

STANDARD FINANCIAL CORPORATION

A handwritten signature in cursive script, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer
Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Vermillion Drain, The Village at Flat Fork Section 3 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Village at Flat Fork Section 3 Arm** on **November 26, 2018** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

Vermillion Drain, The Village at Flat Fork Section 3 Arm

NOTICE

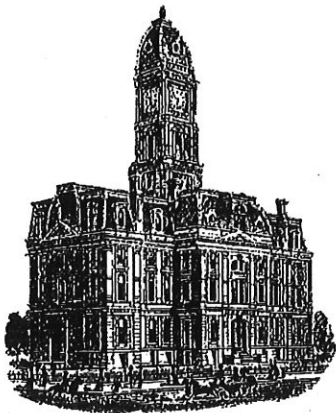
Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **November 26, 2018** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

KLW



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

January 8, 2020

Re: Vermillion Drain: The Village at Flat Fork Sec. 3 Arm

Attached are as-built, certificate of completion & compliance, and other information for The Village at Flat Fork Sec. 3 Arm. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated October 18, 2018. The report was approved by the Board at the hearing held November 26, 2018. (See Drainage Board Minutes Book 18, Pages 300-301) The changes are as follows: structure 208A to existing structure 208 was not installed. The 12" RCP was shortened from 242 feet to 132 feet. The 6" SSD was shortened from 1,859 feet to 1,847 feet. The length of the drain due to the changes described above is now **1,979 feet**.

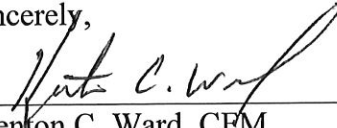
The non-enforcement was approved by the Board at its meeting on November 26, 2018 and recorded under instrument #2020000405.

The following sureties were guaranteed by Standard Financial Corporation and released by the Board on its September 9, 2019 meeting.

Bond-LC No: 1328VVF3
Amount: \$46,162.74
For: Storm Sewers
Issue Date: July 6, 2018

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

A handwritten signature in black ink, appearing to read "Kenton C. Ward". The signature is written in a cursive style with a large, sweeping initial "K".

Kenton C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: THE VILLAGE AT FLAT FORK SECTION 3

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature: _____

JE Trtan

Date: 7-31-2019

Type or Print Name: _____

JOSEPH TRTAN

Business Address: _____

10505 NORTH COLLEGE AVENUE

INDIANAPOLIS, INDIANA 46280

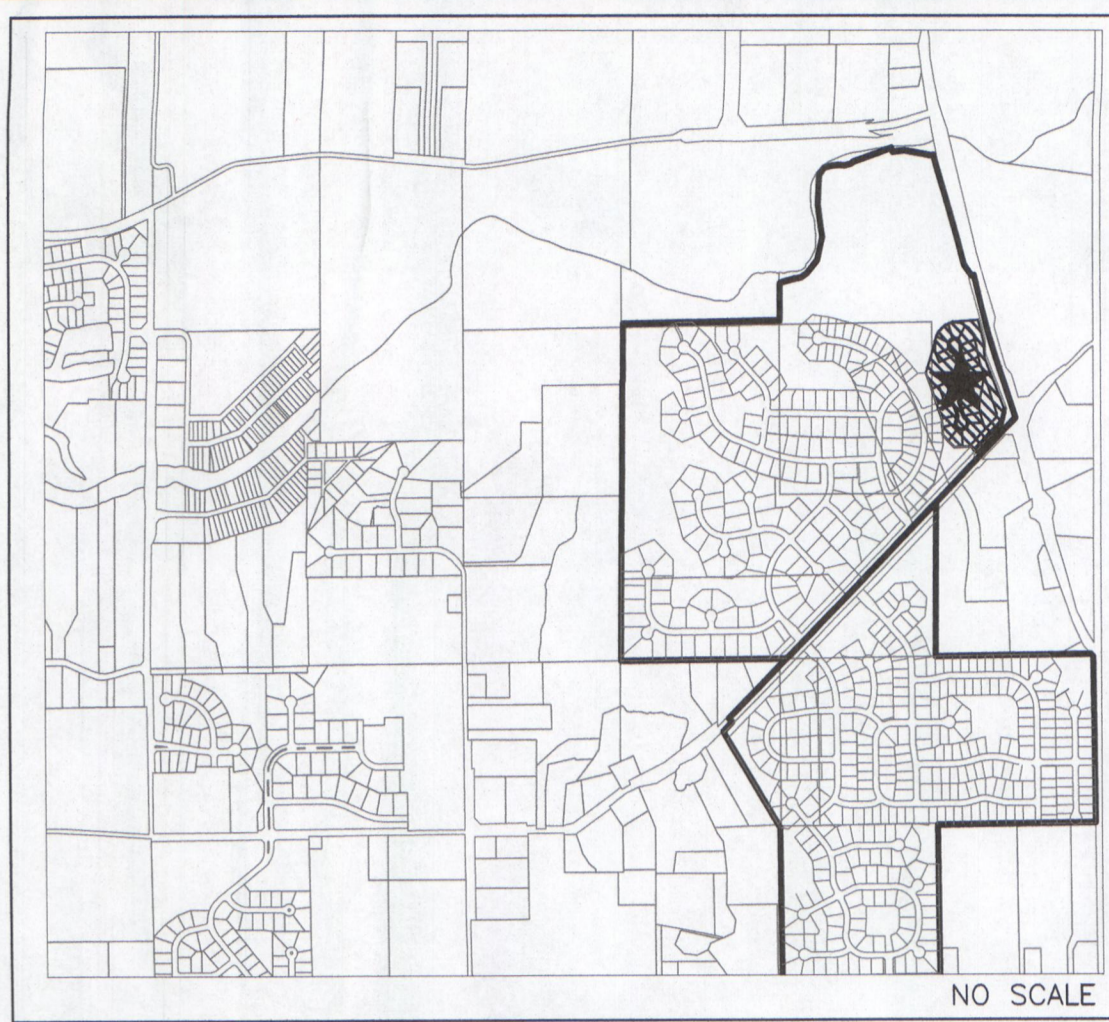
Telephone Number: _____

317-846-6611



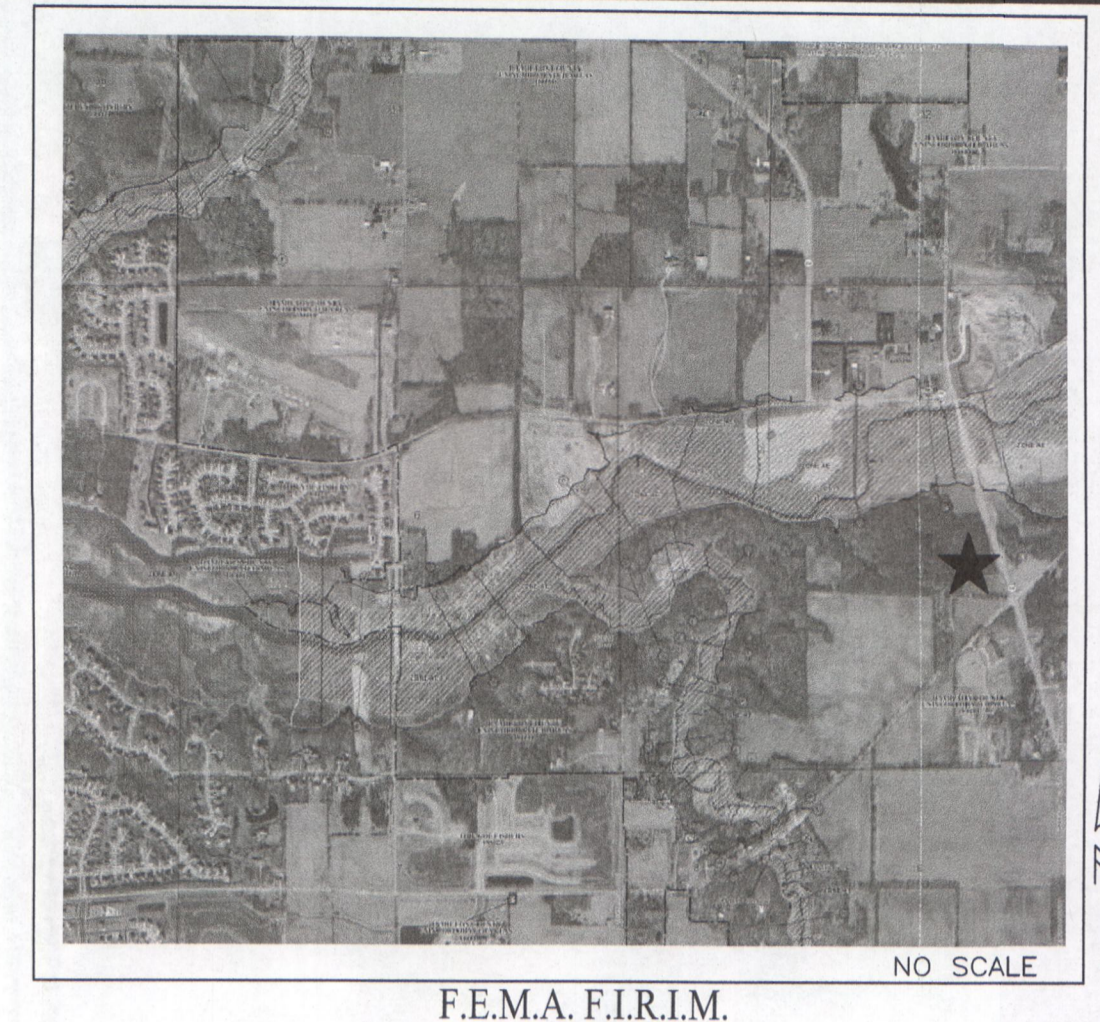
INDIANA REGISTRATION NUMBER

LS21500003



AREA LOCATION MAP
NO SCALE

RECORD DRAWING CONSTRUCTION DRAWINGS THE VILLAGE AT FLAT FORK SECTION THREE FALL CREEK TOWNSHIP, FORTVILLE, IN 46040



F.E.M.A.F.I.R.I.M.
NO SCALE

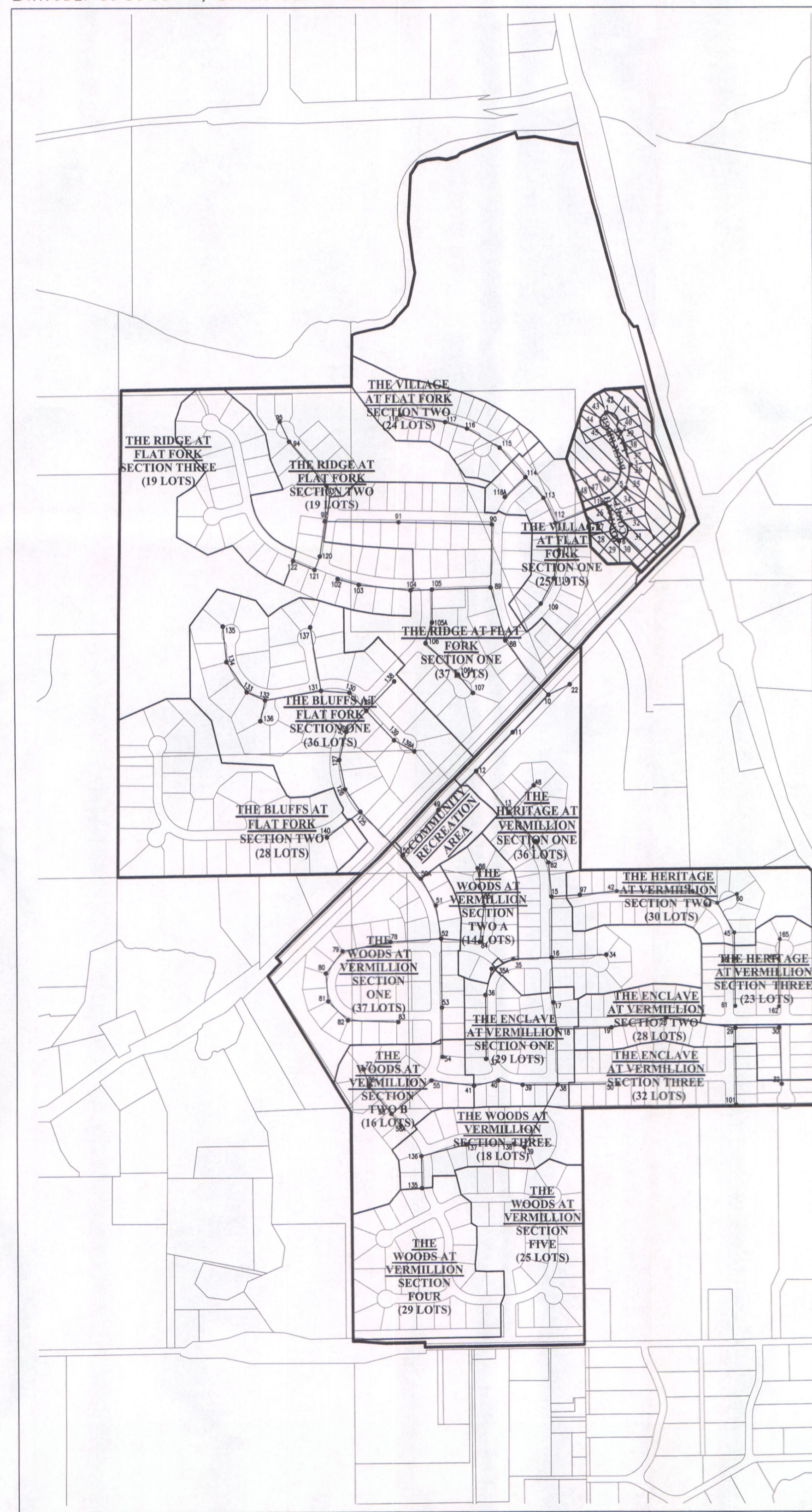
GENERAL NOTES

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- 2) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION
- 3) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- 4) ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- 5) OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- 6) TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- 7) THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- 8) ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- 9) THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0259G AND 18057C0278G, NOVEMBER 19, 2014.
- 10) BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- 11) THIS SITE DOES CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE, FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. NO WETLANDS ARE IMPACTED BY THIS DEVELOPMENT.
- 12) DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR/OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- 13) ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER TOWN OF FORTVILLE UTILITY STREET STANDARDS.
- 14) THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS, SHALL BE PROWAG COMPLIANT AND MEET ALL CURRENT INDOT STANDARD SPECIFICATIONS.
- 15) A ROAD CUT WILL NOT BE PERMITTED FOR ANY UTILITY AFTER A PROOF ROLL HAS BEEN COMPLETED. PRIOR TO A PROOF ROLL, ANY UTILITY PLACED WITHIN THE LIMITS OF THE ROADWAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

BENCHMARK INFORMATION

- SOURCE BENCHMARK**
HSE 38
A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.
N=1714311.26
E=271886.09
EL=809.14 (NAVD 88)
- TBM 2**
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE STORM INLET AT THE SOUTHWEST QUARTER OF SECTION 8-T17N-R6E.
N=1709400
E=273165
EL=864.60 (NAVD 88)
- TBM - WOODS 1**
MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 282 IN THE WOODS AT VERMILION - SECTION ONE
N=1709211.04
E=271032.69
EL=861.40 (NAVD 88)
- TBM - RIDGE 1**
MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 19' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT FLAT FORK - SECTION ONE
N=1712098.06
E=270413.43
EL=855.66 (NAVD 88)
- TBM - ENCLAVE 1**
MAG NAIL SET IN THE WALK AT THE SOUTH SIDE OF DOMINION DRIVE AND KENSINGTON LANE, APPROXIMATELY 22' +/- SOUTH OF THE CENTERLINE OF DOMINION DRIVE AND 6' +/- WEST OF THE CENTERLINE OF KENSINGTON LANE IN THE ENCLAVE AT VERMILION - SECTION ONE
N=1709892.08
E=271671.65
EL=862.36 (NAVD 88)
- TBM - VILLAGE 1**
MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF BUCK RIDGE LANE AND 21' +/- EAST OF THE CENTERLINE OF CLIFFSIDE DRIVE IN THE VILLAGE AT FLAT FORK - SECTION ONE
N=1712107.64
E=271734.52
EL=857.24 (NAVD 88)

LATITUDE: 39°56'56" N, LONGITUDE: 85°52'00" W



SHEET NO.	DESCRIPTION
C001	TITLE SHEET
C100	EXISTING CONDITIONS / DEMOLITION PLAN
C200	STORMWATER POLLUTION PREVENTION PLAN PHASE 1
C201	STORMWATER POLLUTION PREVENTION PLAN PHASE 2
C202-C203	STORMWATER POLLUTION PREVENTION DETAILS & SPECS.
C300	DEVELOPMENT PLAN
C301	PONDING LIMITS/FLOOD ROUTING PLAN
C400-C401	STREET PLAN & PROFILE/INTERSECTION DETAIL
C402-405	STREET DETAILS & SPECIFICATIONS
C406	TRAFFIC CONTROL/SIGNAGE/STREET LIGHT/SUMP PLAN
C500	SANITARY SEWER PLAN & PROFILE
C501-C503	SANITARY SEWER DETAILS & SPECIFICATIONS
C504	COMMON FORCE MAIN DETAILS
C505-C506	SMALL DIAMETER FORCE MAIN SPECIFICATIONS
C600	STORM SEWER PLAN & PROFILE
C601-C602	STORM SEWER DETAILS
C700	WATER MAIN PLAN
C701-C703	WATER MAIN DETAILS/SPECIFICATIONS
L100	LANDSCAPE PLAN

STREET DATA

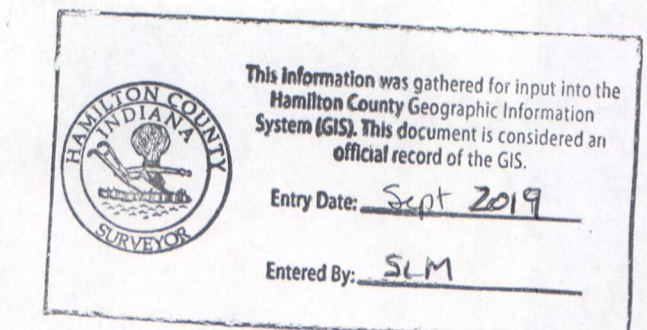
STREET LENGTHS:

BUCK RIDGE LANE	627.86 L.F.±
TOW PATH COURT	199.37 L.F.±
TOTAL	827.23 L.F.±

NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.

SITE AREA:

SITE	10.49 AC.±
LOTS	23



NOTE: THE HAMILTON COUNTY SURVEYOR'S OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.

PLANS PREPARED FOR

REPUBLIC DEVELOPMENT
NORTH CONNECTICUT DEVELOPMENT CORP.
13578 EAST 131ST STREET, SUITE 200
FISHERS, IN 46037
TELEPHONE: 317-770-1818
CONTACT PERSON: DOUG WAGNER

PLANS PREPARED BY

WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, IN 46280
(317) 846-6611
CONTACT PERSON: ALVIN (RUSTY) SKOOG



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PER INDIANA STATE LAW IC 8-1-26
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

OPERATING AUTHORITIES:

FISHERS DEPARTMENT OF COMMUNITY DEVELOPMENT ONE MUNICIPAL DRIVE FISHERS, IN 46038 317-595-3126 ATTN: CALEB GUTSHALL	FORTVILLE WATER 714 E. BROADWAY ST. FORTVILLE, IN 46040 317-485-4044 ATTN: JOE RENNER	HAMILTON COUNTY HIGHWAY DEPARTMENT 1700 S. 10TH STREET NOBLESVILLE, IN 46060 317-773-7770 ATTN: DAVID LUCAS
SAMCO/HSE UTILITIES 11901 LAKESIDE DRIVE FISHERS, IN 46038 317-577-1150 ATTN: THOMAS KALLIO	NINESTAR CONNECT (TELEPHONE) P.O. BOX 108 MAXWELL, IN 46154 317-323-2078 ATTN: GEORGE PLISINKI	TRIAD ASSOCIATES 5835 LAWTON LOOP EAST DRIVE INDIANAPOLIS, IN 46216 317-373-5220 ATTN: DICK MOSIER
NINESTAR CONNECT (POWER) 2243 EAST MAIN STREET GREENFIELD, IN 46140 317-523-2087 ATTN: JOHN SPLATTER	EMBARQ/CENTURY LINK 50 NORTH JACKSON STREET FRANKLIN, IN 46131 317-736-4863 ATTN: DAVID MEYERS	HAMILTON COUNTY SURVEYOR ONE HAMILTON COUNTY SQUARE, SUITE 188 NOBLESVILLE, INDIANA 46060 317-776-8495 ATTN: STEVE CASH
VECTREN 16000 ALLISONVILLE ROAD NOBLESVILLE, IN 46061 317-776-5532 ATTN: JOANIE CLARK	COMCAST 5330 E. 85TH STREET INDIANAPOLIS, IN 46220 317-774-3384 ATTN: MATT STRINGER	

RECORD DRAWING
7/31/2019

JOSEPH TRTAN, LS21500003

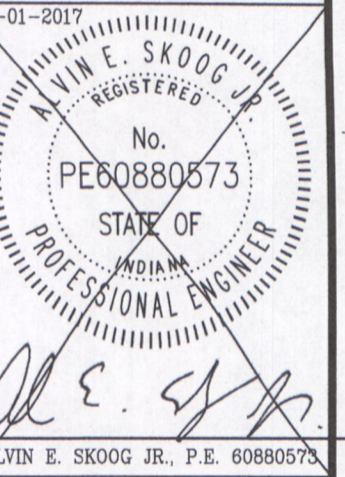


10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546/fax
ALLAN H. WEIHE, P.E., I.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.	W160073-3
DWG NAME	AS C001 Title Sheet.dwg
DESIGNED BY	WEI
DRAWN BY	WEI
CHECKED BY	AS
DATE	08-10-2019

REVISIONS AND ISSUES



PREPARED FOR:
THE VILLAGE AT FLAT FORK SECTION THREE
NORTH CONNECTICUT DEVELOPMENT CORP.
TITLE SHEET
Part of the 85.52 +/- AC of Section 15, Township 17 North, Range 6 East, Fall Creek Township, Hamilton County, Indiana

SHEET NO.
C001
PROJECT NO.
W160073-3

LOCATION: W:\2019\W160073\Section 3\Engineering\Design\Utilities\AS_C001 Title Sheet.dwg
DATE/TIME: July 31, 2019 4:13:39pm
PLOTED BY: weio

RECORD DRAWING

DEVELOPMENT PLAN AS-BUILTS
PADS AND SWALES ONLY
7/31/2019

JOSEPH TRITAN, LS21500003



- ASBUILT INFORMATION
- BUILT AS PLANNED
- ASBUILT SPOT ELEVATION
- ASBUILT RISER
- ASBUILT SUBSURFACE DRAIN

DATE OF LAST FIELDWORK: 7/19/2019

EX. WET POND 1

NP = 805.00
2 YR. = 806.73
10 YR. = 807.39
100 YR. = 808.91
BOTTOM = 797.00

VAR. R.D.E. INST.
#2014054827

CONSERVATION AREA

CONSERVATION AREA

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
3. ALL QUANTITIES GIVEN ON THESE PRINTS, ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
4. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
5. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
6. ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
7. 2" ROLLED CURB & CUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
8. A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
9. ANY DRAINAGE TILE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
10. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLIMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION. PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TEST SHALL BE RUN ON EACH LIFT, IN FULL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
11. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MANS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
12. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
13. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
14. ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
15. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
16. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
17. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
18. ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS)
19. THE FINISHED FLOOR GRADE FOR EACH LOT MUST BE 6" ABOVE PAD, CENTER OF LOT, M.F.P.G OR M.F.F.E., WHICHEVER IS HIGHEST.
20. FINISHED FLOOR ELEVATION (FFE)

PRODUCT	FFE
SLAB ON GRADE	0.7" PAD ELEVATION
BASEMENT	1.8" PAD ELEVATION

*PAD ELEVATION PER LOT SHOWN ON DEVELOPMENT PLAN

UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATION ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING FFE ESTABLISHED HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT.

LEGEND

- TYP. = TYPICAL
- PROP. = PROPOSED
- EX. = EXISTING
- R. = RADIUS
- V.W. = VARIABLE WIDTH
- M.I.G. = MINIMUM LOWEST ADJACENT GRADE
- ROW = RIGHT-OF-WAY
- B-S. = BACK OF CURB
- 860.4 = PAD ELEV
- B.S.L. = BUILDING SETBACK LINE
- HP = HIGH POINT
- IN. = INVERT
- RCP = REINFORCED CONCRETE PIPE
- M.H. = MANHOLE
- STR. = STRUCTURE
- D.E. = DRAINAGE EASEMENT
- D.U.I.E. = DRAINAGE AND UTILITY EASEMENT
- D.U.I.S.S.E. = DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
- ME = CONCRETE END SECTION
- = MATCH EXISTING
- = RIGHT-OF-WAY LINE
- = PROPOSED STORM SEWER LINE
- = EXISTING STORM SEWER LINE
- = SWALE
- = PROPOSED SANITARY SEWER LINE
- = EXISTING SANITARY SEWER LINE
- = SANITARY SEWER MANHOLE
- = SANITARY SEWER LATERAL
- = PROPOSED WATER LINE
- = EXISTING WATER LINE
- = FLOW DIRECTION
- = EXISTING CONTOURS
- = PROPOSED ELEVATION
- = STORM BEEHIVE INLET
- = STORM INLET
- = TOP OF CASTING
- = INVERT
- = FIRE HYDRANT
- = PROPOSED 8" ASPHALT PATH



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DAYS BEFORE COMMENCING WORK.

BENCHMARK INFORMATION

SOURCE BENCHMARK
HSE 38
A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.
N=1714311.26
E=271898.09
EL=809.14 (NAVD 88)

TBM 2
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R8E.
N=1709400
E=273185
EL=864.60 (NAVD 88)

TBM - WOODS 1
MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILION - SECTION ONE
N=1709211.04
E=271032.69
EL=861.40 (NAVD 88)

TBM - RIDGE 1
MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 18' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT FLAT FORK - SECTION ONE
N=1712098.06
E=270413.43
EL=865.66 (NAVD 88)

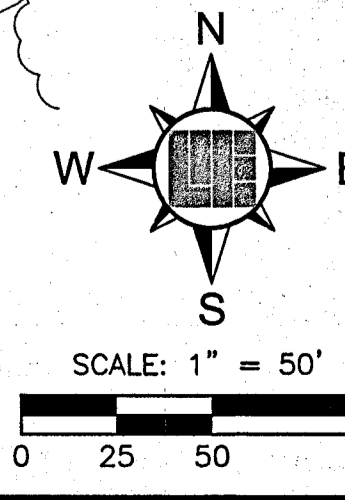
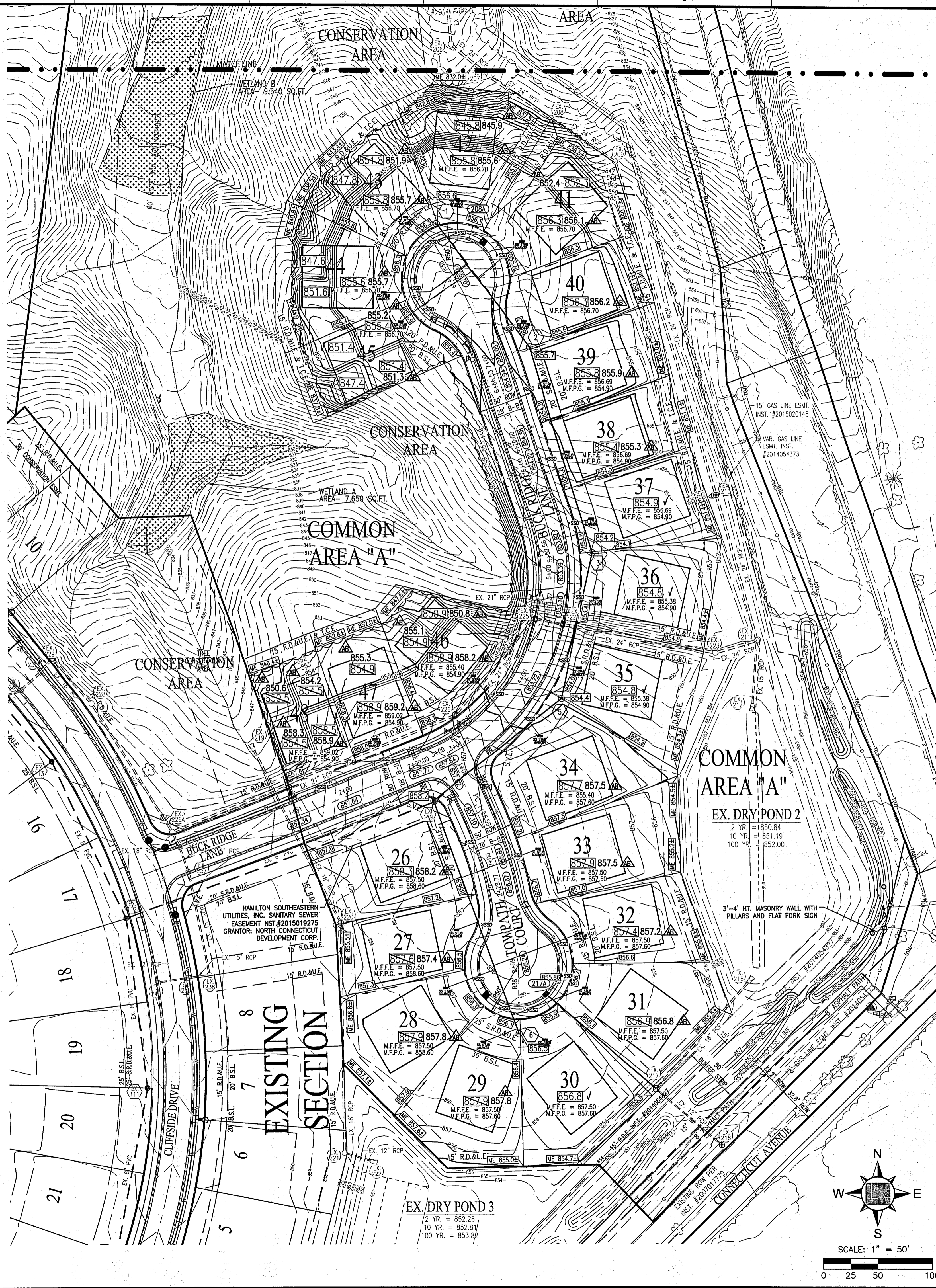
TBM - ENCLAVE 1
MAG NAIL SET IN THE WALK AT THE SOUTH SIDE OF DOMINION DRIVE AND KENSINGTON LANE, APPROXIMATELY 23' +/- SOUTH OF THE CENTERLINE OF DOMINION DRIVE AND 6' +/- WEST OF THE CENTERLINE OF KENSINGTON LANE IN THE ENCLAVE AT VERMILION - SECTION ONE
N=1708982.08
E=271671.85
EL=862.36 (NAVD 88)

TBM - VILLAGE 1
MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF CLIFFSIDE DRIVE IN THE VILLAGE AT FLAT FORK - SECTION ONE
N=171207.64
E=271734.52
EL=857.24 (NAVD 88)

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.

Entry Date: Sept 2019

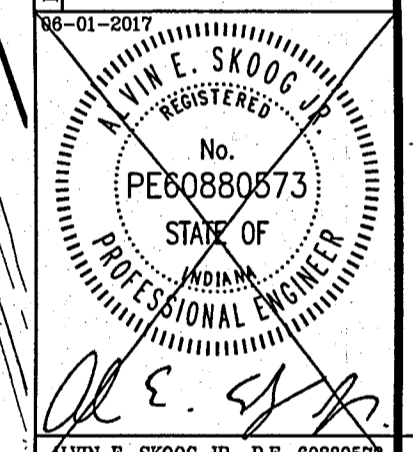
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weihe.net
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800 | 452 - 6408
317 | 843 - 0546 fax

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO: W160073-3
DWG NAME: 0300 Development Plan-As-Built
DESIGNED BY: MEN
CHECKED BY: WSA
DRAWN BY: AES
DATE: 08-01-2019



PREPARED FOR:
THE VILLAGE AT FLAT FORK SECTION THREE
NORTH CONNECTICUT DEVELOPMENT CORP.
DEVELOPMENT PLAN

SHEET NO. **C300**
PROJECT NO. **W160073-3**

BENCHMARK INFORMATION

SOURCE BENCHMARK
 HSE 38
 A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.
 N=1714311.26
 E=271886.09
 EL=809.14 (NAVD 88)

TBM 2
 RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R8E.
 N=1709400
 E=273165
 EL=864.60 (NAVD 88)

TBM - WOODS 1
 MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILLION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILLION - SECTION ONE
 N=1709211.04
 E=271032.69
 EL=861.40 (NAVD 88)

TBM - RIDGE 1
 MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 12' +/- NORTH AND 18' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT FLAT FORK - SECTION ONE
 N=1712098.06
 E=270413.43
 EL=865.66 (NAVD 88)

TBM - ENCLAVE 1
 MAG NAIL SET IN THE WALK AT THE SOUTH SIDE OF DOMINION DRIVE AND KENSINGTON LANE, APPROXIMATELY 23' +/- SOUTH OF THE CENTERLINE OF DOMINION DRIVE AND 6' +/- WEST OF THE CENTERLINE OF KENSINGTON LANE IN THE ENCLAVE AT VERMILLION - SECTION ONE
 N=1708982.08
 E=271671.65
 EL=862.36 (NAVD 88)

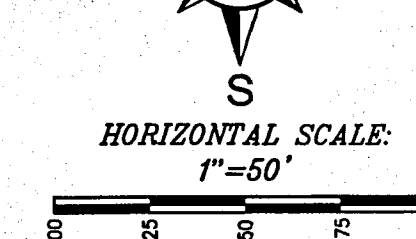
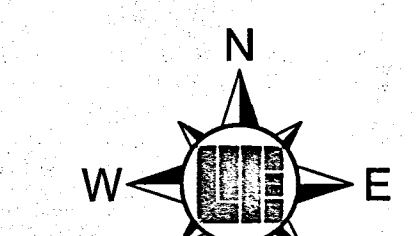
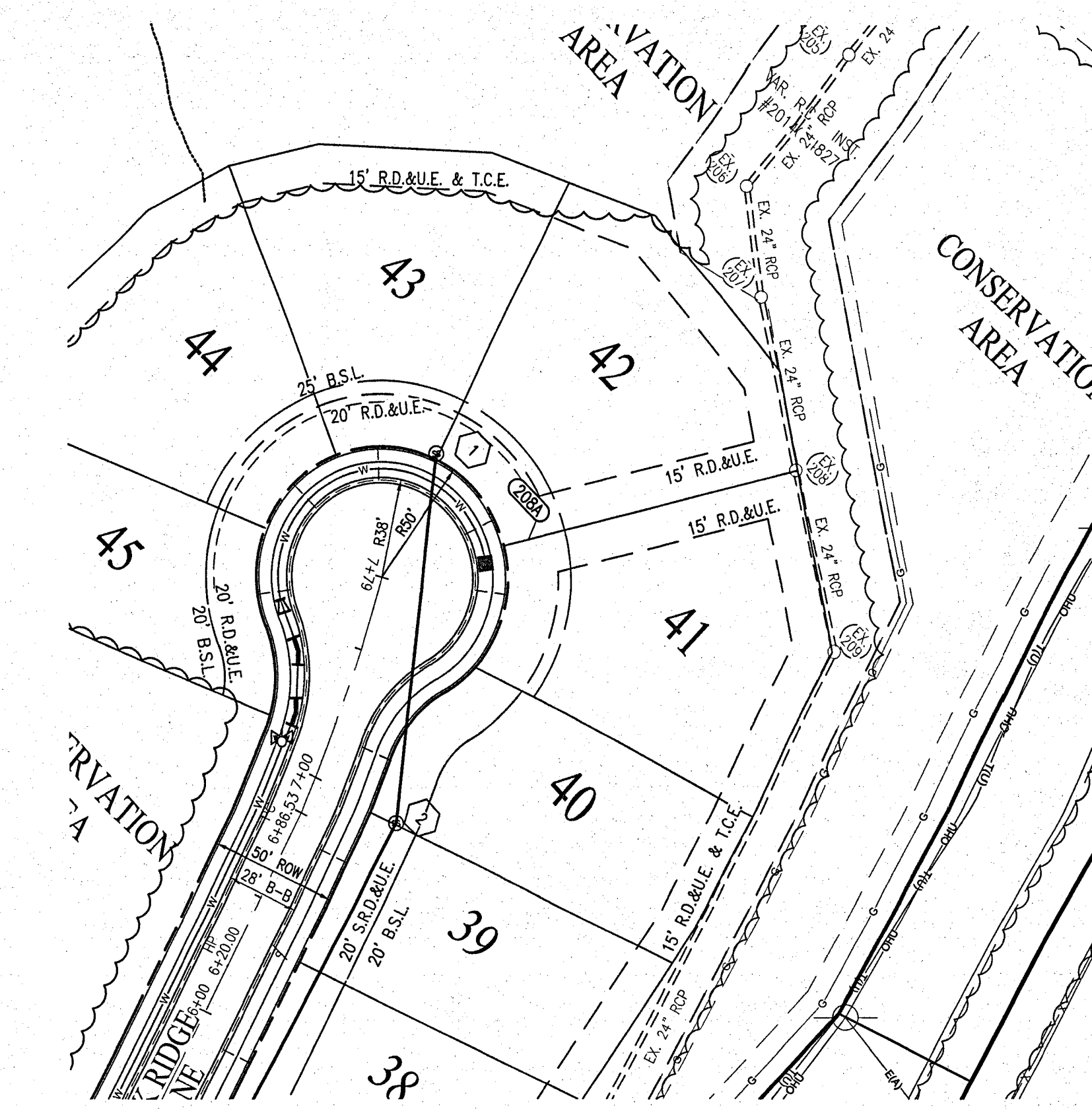
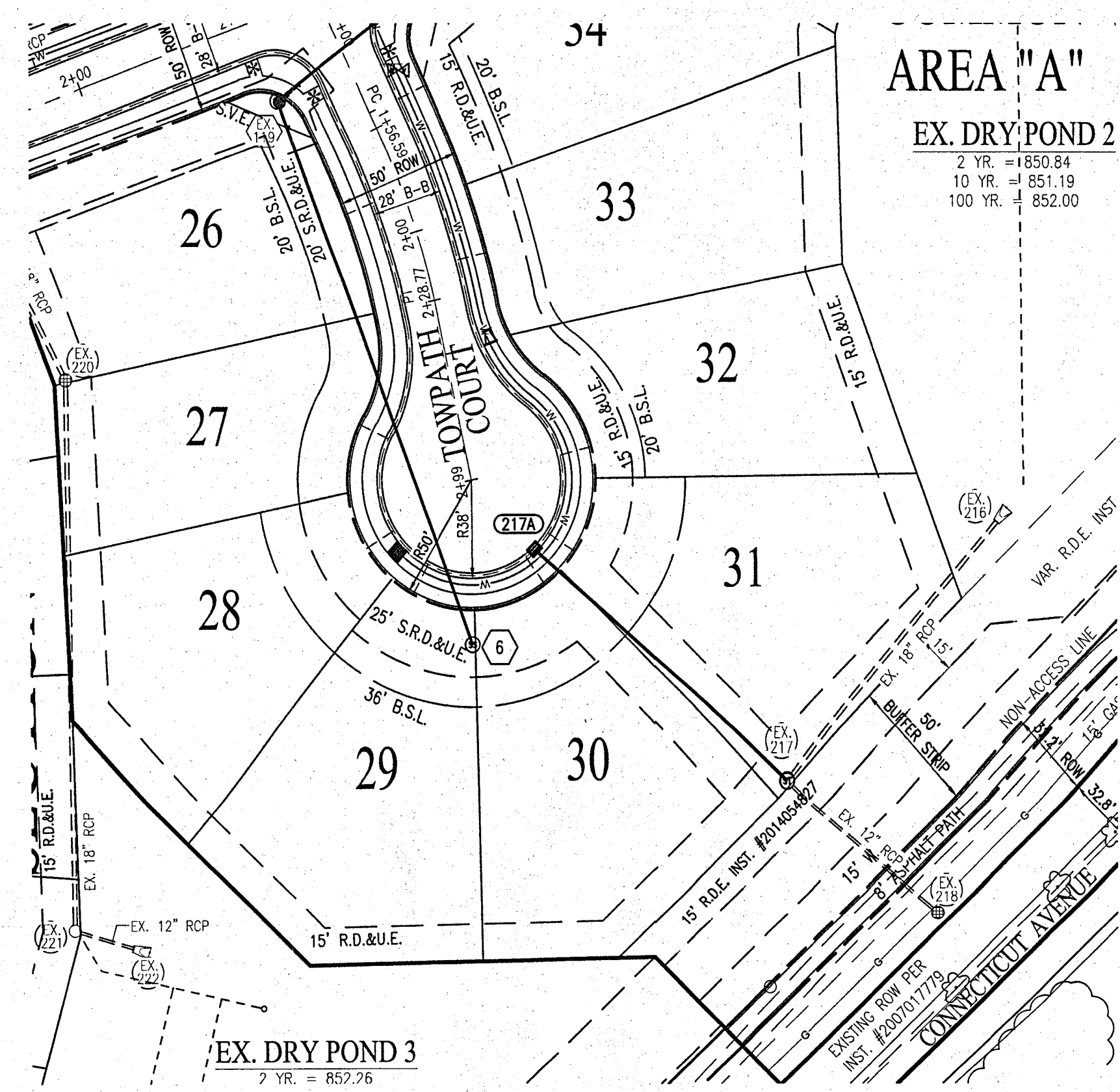
TBM - VILLAGE 1
 MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF BUCK RIDGE LANE AND 21' +/- EAST OF THE CENTERLINE OF CLIFFSIDE DRIVE IN THE VILLAGE AT FLAT FORK - SECTION ONE
 N=1712107.64
 E=271734.52
 EL=857.24 (NAVD 88)

DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE	SIZE	MATERIAL	LENGTH	SLOPE
208A	208	12"	RCP	110'	4.81%
217A	217	12"	RCP	132'	6.75%

STRUCTURE NUMBER	STRUCTURE TYPE	TOP OF CASTING	CASTING TYPE	INVERT
208A	MANHOLE	855.97	NEENAH R-4342	INV OUT = 839.97(NE)
217A	MANHOLE	855.63	NEENAH R-3501-TL	INV OUT = 851.63(SE)

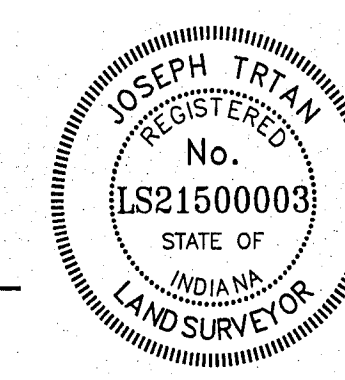
STORM SEWER NOTES

- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND STORMWATER POLLUTION PREVENTION PLAN.
- REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTIONS BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
- THE CONTRACTOR SHALL CONTACT APPLICABLE STATE UNDERGROUND LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO ANY WORK AND SHALL CONTACT THE OWNER AND/OR ENGINEERS SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES, PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. WITHIN THE CONSTRUCTION LIMITS. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITIES AND VERIFY ANY AND ALL FEES ASSOCIATED WITH THE INSTALLATION OF ALL UTILITIES.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- ANY PART OF STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK. NOTIFY ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- CLEARANCE BETWEEN STORM / SANITARY SEWER SYSTEMS AND DOMESTIC/FIRE LINE SERVICE, SHALL MAINTAIN 10' HORIZONTAL AND 18" VERTICAL.
- CONTRACTOR TO INSTALL CONCRETE CRADLES AT PIPE CROSSING WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWERS, WATER MAINS AND STORM SEWERS IS 18" OR LESS.
- SANITARY SEWER LINE IN PROXIMITY OF WATER LINE SHALL BE 6900 WATER MAIN GRADE PVC.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO ITS CONDITION PRIOR TO CONSTRUCTION.
- WHEN PERFORMING EXCAVATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
- COMPACTED "B" BORROW BACK FILL REQUIRED OVER ALL UTILITIES IN PAVED AREAS.
- ALL UTILITY STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS.
- COORDINATE LOCATIONS AND CONNECTIONS OF BUILDING STORM LINES WITH PLUMBING DRAWINGS.
- FOLLOW ALL LOCAL AND STATE CODES IN REFERENCE TO STORM SEWER INSTALLATION.
- ALL EXISTING MANHOLE AND CATCH BASIN GRATES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATIONS.
- EXISTING PIPES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- ALL STORM PIPE CONNECTIONS AT STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS RATED FOR H2O LOADING.
- ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR CHANNEL FROM INVERT IN TO INVERT OUT.
- NEW PIPES AND STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS PRIOR TO FINAL TURNOVER TO THE OWNER.
- IF HDPE PIPE IS SPECIFIED USE DUAL WALLED, HANCOR HQ, ADS N-12 PIPE OR APPROVED EQUAL.
- ALL FITTINGS AND ACCESSORIES INCLUDING BUT NOT LIMITED TO END CAPS, CLEANOUTS, REDUCERS, ETC., SHALL BE HDPE MATERIAL, IF SPECIFIED, COMPARABLE WITH STORAGE PIPES.
- PROVIDE BACKFILL WITH A MINIMUM OF 4" BEDDING MATERIAL OF #6 AGGREGATE COMPACTED IN 8" LIFTS TO 95% MAXIMUM DRY DENSITY.
- VERIFY EXISTING STORM INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.



RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 7/31/2019

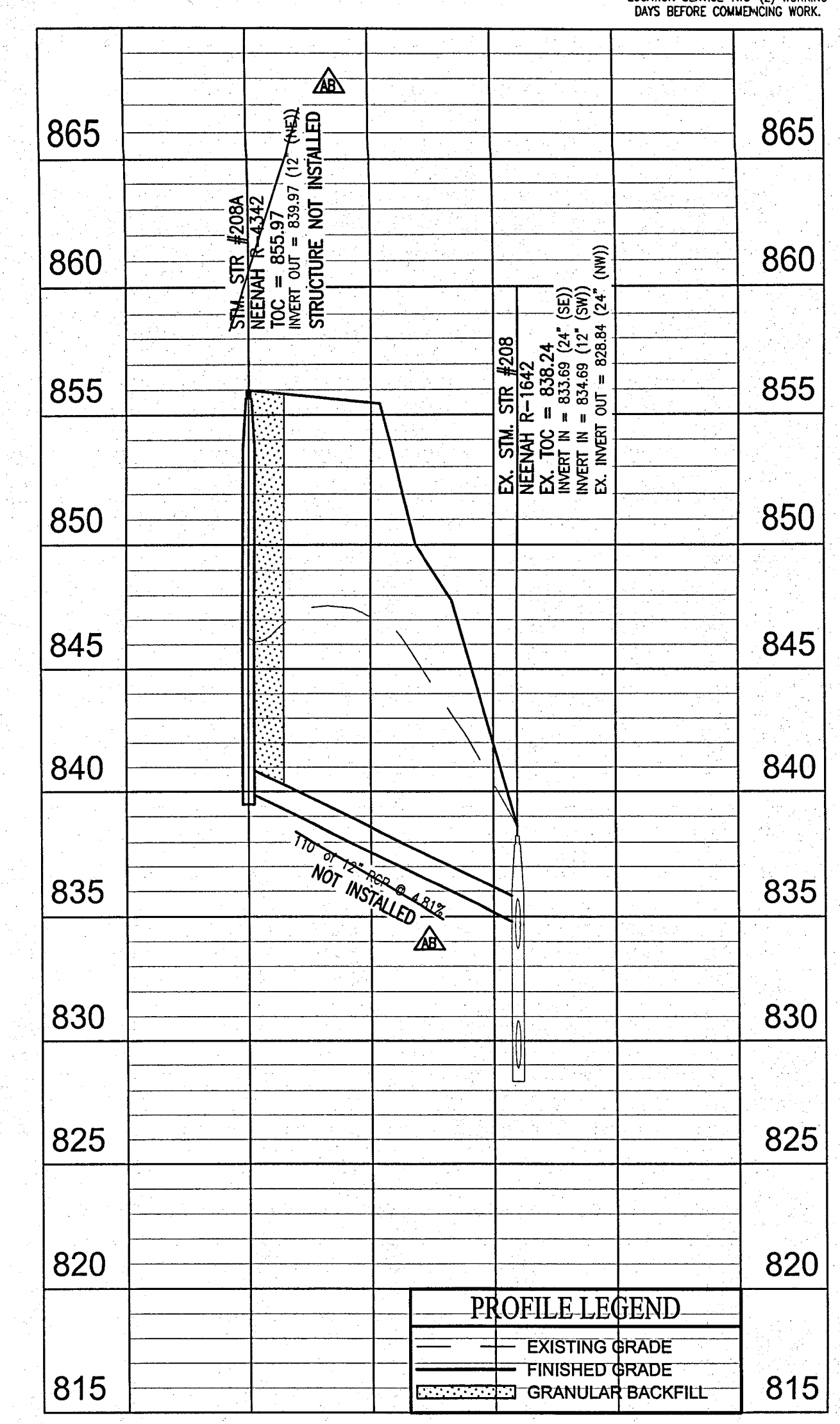
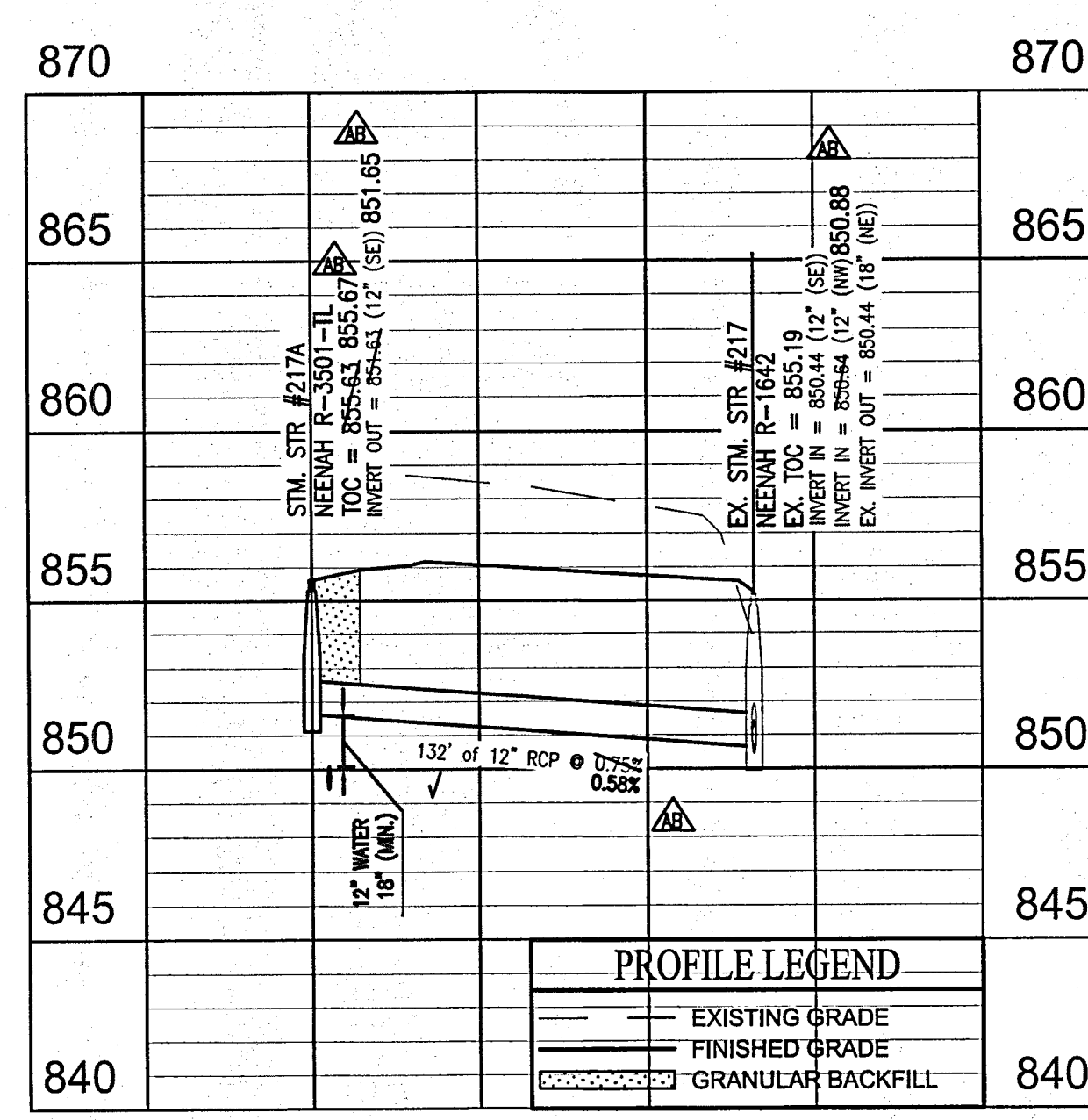
JOSEPH TRITAN, LS21500003
 INDIANA LAND SURVEYOR



DATE OF LAST FIELDWORK: 7/19/2019

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
 Entry Date: Sept 2019
 Entered By: SLM

- LEGEND**
- RIGHT-OF-WAY LINE
 - PROPOSED STORM SEWER LINE
 - EXISTING STORM SEWER LINE
 - SWALE
 - SSD
 - PROPOSED SANITARY SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER LATERAL
 - PROPOSED WATER LINE
 - FLOW DIRECTION
 - EXISTING CONTOURS
 - PROPOSED ELEVATION
 - STORM BEEHIVE INLET
 - STORM INLET
 - TOP OF CASTING
 - INVERT
 - REINFORCED CONCRETE PIPE
 - MANHOLE STRUCTURE
 - DRAINAGE EASEMENT
 - DRAINAGE AND UTILITY EASEMENT
 - DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
 - CONCRETE END SECTION
 - MATCH EXISTING
 - TYP. PROP. EX. R. V.W. MLAG ROW B-8
 - SSD
 - HP
 - D.O.E.
 - D.U.S.E.
 - ME
 - TYP. PROP. EX. R. V.W. MLAG ROW B-8
 - SSD
 - HP
 - D.O.E.
 - D.U.S.E.
 - ME
 - 860.4
 - B.S.L.
 - HP
 - PO
 - PROPOSED # ASPHALT PATH



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WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

PROJECT NO.: W160073-3
 DATE: 05-01-2017

ALVIN E. SKOOG JR., P.E. 80880073

PREPARED FOR:
THE VILLAGE AT FLAT FORK SECTION THREE
 NORTH CONNECTICUT DEVELOPMENT CORP.
 STORM SEWER PLAN AND PROFILE
 SHEET NO. **C600**
 PROJECT NO. **W160073-3**

LOCATION: H:\2016\W160073\Section 3\Engineering\Design\Submittals\AB\Consent\AB_C600 Storm Plan.dwg
 LAYOUT: C600
 PLOTTED BY: weihe
 PLOTTED DATE: 11/26/19